



ARIZONA TILE
ANTHEA EARTH
24X48 RII ANTI SLIP
MATCHING GROUT
30% OFFSET

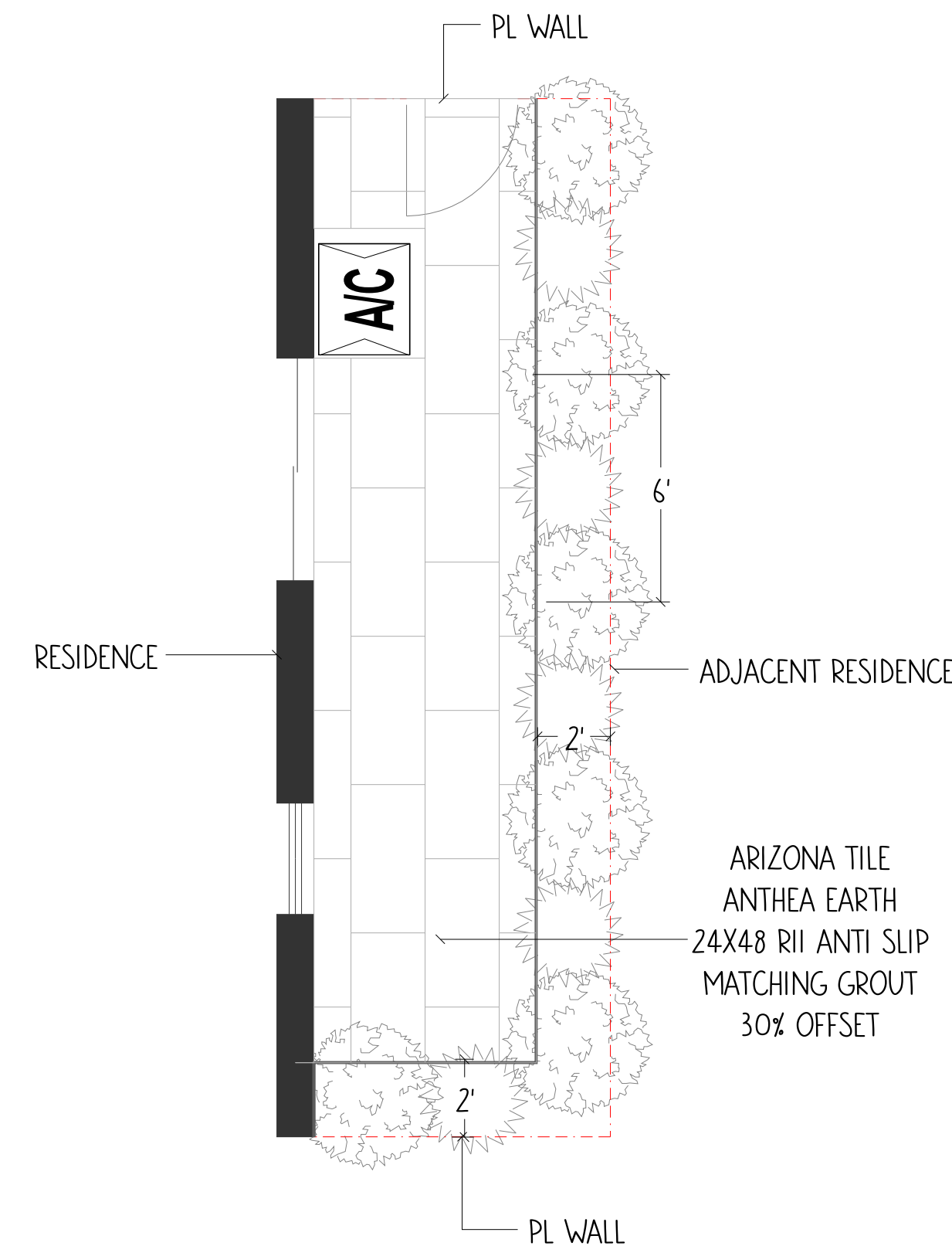


Afrocarpus gracillior
African Fern Pine



Pittosporum tobira 'Wheeler's Dwarf'
Wheeler's Dwarf Pittosporum

Code	Botanical	Common	Plant Type	Height	Width	Sun	Water	Size	Quantity
PIT TOB	<i>Pittosporum tobira 'Wheeler's Dwarf'</i>	Wheeler's Dwarf Pittosporum	Shrub	2-3 ft.	4-5 ft.	Full, Half	Very Low, Extra in Summer	5 GAL	5
POD GRA	<i>Afrocarpus gracillior</i>	African Fern Pine (COLUMN)	Tree	40-60 ft.	20-40 ft.	Full, Half	Medium	15 GAL	6



GREAT PARK STANDARD NOTES

- B. GRADING AND DRAINAGE**
- Grading
 - No grade change is permitted. (See raised planter wall exception).
 - Owner is responsible for disposing of any excess soil due to landscape construction.
 - Drainage
 - The drainage pattern established with the original grading of the Condominium Unit must be maintained. No drainage will be permitted onto Master Association Property or adjoining Condominium Units.
 - All On-Unit construction/hardscape surfaces shall have positive surface drainage of one percent (1%) minimum.
 - All landscape areas shall have positive surface drainage of two percent (2%) minimum.
 - All surface drainage shall be directed away from Dwelling walls, top of slopes and adjoining property lines.
 - All rear yard and side yard areas must surface drain to area drains/catch basins which must in-turn tie into the Merchant Builder-installed drain lines.
 - The roof gutters at the downspouts must connect to the drain lines or inlets installed by the Merchant Builder.
 - All on-Unit drainage features and systems must adhere to all applicable codes.

The Master Association Property and front yard trees, shrubs, groundcover and turf provided by the Builder and maintained by the Master Association are to be protected in-place during construction and replaced in kind and size by the Association at Owner's expense if damaged.

Trees with invasive root systems and deciduous/flowering/fruiting trees should not be proposed adjacent to Association property or adjoining Dwellings or private yards. Recommend a five (5) foot setback from the property line/perimeter wall.

All trees planted within five (5) feet of private walls, fences and/or adjoining Dwellings must utilize a root barrier device.

Plant material considered to be invasive to this region as determined by CAL-IPC (California Invasive Plant Council) are prohibited.

GREAT PARK STANDARD NOTES

Trees shall be planted a minimum of three (3) feet from the perimeter walls, fences and adjoining Dwelling. Provide an 18" min. wide planter area with shrubs along the base of the courtyard wall as noted on the plan. Indicate shrub types.

HARDSCAPE

No grade change is permitted with the exception of raised planter (retaining) walls which are permitted subject to DRe review and approval. Soil level may not be raised against existing perimeter walls without the addition of a retaining flash wall and waterproofing.

No modifications to the Builder-installed and Association maintained entry walks, steps, landing, driveways or drive aprons are permitted.

All paving materials must be compatible with the architectural style and exterior elevation materials. Paving material shall be setback a minimum of two (2) feet from existing rear and side yard privacy walls to accommodate planting.

Paving at minimum side yard setback between adjacent units may extend from the Dwelling wall to the privacy wall. Paving must be separated from the privacy wall by a minimum of one half (1/2") inch air gap.

Existing masonry pilasters, walls, fences and gates shall not be removed, reconstructed or modified as to structure, finish or color. Do not apply paint or stucco to the perimeter walls.

Do not pour or place hardscape (cement, pavers, brick, etc.) up against any perimeter wall. Provide an air gap. Homeowner is responsible for any damage to walls caused by their improvements.

SOLAR SHADING RESTRICTIONS

Please note that your property may be subject to a Supplemental Declaration Establishing Solar Shading Restrictions which includes restrictions to protect the effectiveness of roof-mounted residential solar energy systems. You must determine whether your property is subject to a Solar Shading Restriction and comply with such restrictions, including, but not limited to, designing and installing improvements to meet the restrictions and providing the appropriate architect certification, if applicable to your property. The DRC does not review plans for compliance with an applicable Solar Shading Restriction or the Solar Shade Control Act, and an approval by the DRC is for aesthetics only and not an approval of compliance. If it is later determined that improvement(s) do not comply with a Solar Shading Restriction or the Solar Shade Control Act, an approval by the DRC may be null and void, and you may be required to maintain, alter, or remove the improvement(s) at your sole cost and expense in order to bring your property into compliance.

RECOMMENDED WATERING SCHEDULE

(GENERAL PLANTS)

First 90 days 100% daily to establish plants. Thereafter see schedule below for seasonal adjustments
Settings: Inland, General Plantings, Clay Loam, Drip-Emitter Line

Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Watering Days per Week	1	1	1	3	3	3	3	3	3	3	1	1
Minutes per Cycle	11	13	20	17	20	11	11	11	17	13	14	11
Cycles per Day	2	2	2	1	1	2	2	2	1	1	2	2
* If your irrigation controller has a "Seasonal Adjust % or Budget Feature" I suggest that you program your controller to the July recommendations and then adjust as suggested below.												
Inland - Seasonal Adjustments												
Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
30%	40%	60%	80%	90%	100%	100%	90%	80%	60%	40%	30%	

Adjust your automatic timer, as best you can, according to the numbers you get from the calculator. You may need to make compromises based on the limitations of the controller. Pay attention to your plants for stress, and increase or decrease watering times accordingly. Skip two watering days when it rains or when the soil is already wet.



IRRIGATION MANUAL